
LPP 5 – Sea/Shipping Containers and Transportable Buildings

1. Citation

This is a Local Planning Policy prepared under Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations). This Policy may be cited as Local Planning Policy No. 5 *Shipping/sea containers & transportable buildings*.

2. Purpose

The purpose of this Policy is to provide guidance on the requirements for the development of transportable structures and buildings. This policy defines acceptable design standards for transportable buildings such as dongas and shipping/sea containers.

3. Objectives

The objectives of the Policy are to:

1. Ensure that a transportable structure/building does not detract from the amenity, character and established streetscape of an area; and
2. Fulfil the intended objectives of design guidelines, the Residential Design Codes and the Shire's local planning framework of achieving good quality-built form and design outcomes.

4. Applications subject of this Policy & general provisions

This Policy applies to any situation where a new or second-hand sea/shipping container and/or transportable building is proposed to be located on all zoned and reserved land.

1. If a provision within this Policy is inconsistent with the provisions of the Shire of Waroona's Local Planning Scheme (the Scheme), or specific Design Guidelines, the Scheme and Design Guidelines shall prevail.
2. An application for a sea/shipping container or transportable building within a residential zone will also be assessed in accordance with the Residential Design Codes.
3. The Scheme requires development approval to be obtained for the development of sea/shipping containers and transportable buildings unless otherwise exempt by this Policy or other legislation.
4. An application for development approval is required to be submitted in accordance with the Scheme requirements and objectives.
5. A Building Permit is required for all sea/shipping containers and transportable buildings unless exempt under the Building Act 2011.
6. A sea/shipping container may be placed wholly on a residential property for the purposes of relocating personal effects, for up to seven days, without requiring development approval.
7. A sea/shipping container and transportable building must be wholly located on private property and cannot be located within a road reserve.

8. A sea/shipping container and transportable building on a reserve, other than a road reserve, shall only be considered where a party, club or organisation has a lease or arrangement already in place with the Shire or State Government for the use of that reserve.

5. Policy provisions

In the following circumstances, the development shall incorporate the below design treatments in order to satisfy the objectives of this Policy and the Scheme.

Refer to Part 6 of this Policy for examples of scenarios and design treatments.

Scenario	Design treatments
Sea/Shipping containers	
Scenario 1 Not visible from a public or private place.	No design treatments are necessary.
Scenario 2 Visible from a private place only.	<ul style="list-style-type: none"> • Freshly painted; • No exterior surface corrosion and no denting/damage; • Sub floor void to be screened (where visible); • Screening of air conditioning units; • Tie down chains/straps are not permitted – shall be secured through alternate means; and • Shall be incidental to an existing building already on-site.
Scenario 3 Visible from a public place; and Visible from a public place and a private place.	<ul style="list-style-type: none"> • Freshly painted; • No exterior surface corrosion and no denting/damage; • Sub floor void to be screened (where visible); • Screening of air conditioning units; • Sighted at a right (perpendicular) angle to the primary street; • Located in-line or behind the building line of existing buildings to all street frontages; • Tie down chains/straps are not permitted – shall be secured through alternate means; and • Shall be incidental to an existing building already on-site.

Scenario	Design treatments
<p>Scenario 4</p> <p>Temporary – for a construction site</p> <p>These will be exempt from development approval, subject to the following conditions.</p>	<p>Conditions:</p> <ul style="list-style-type: none"> • There must be a valid building permit in place; • Active construction works on-site; • Must be wholly located on private property where the construction site is underway; • Must be associated with construction uses only e.g. site office, lunch room for workers, storage; and • Removed prior to an occupancy permit being applied for or where an occupancy permit is not required, prior to occupation of the development.
<p>Transportable buildings, excluding shipping/sea containers</p>	
<p>Scenario 5</p> <p>Not visible from a public or private place.</p>	<p>No design treatments are necessary.</p>
<p>Scenario 6</p> <p>Visible from a private place only.</p>	<ul style="list-style-type: none"> • Freshly painted; • No exterior surface corrosion and no denting/damage; • Sub-floor void to be screened; • Screening air conditioning units; • Tie down chains/straps are not permitted – shall be secured through alternate means
<p>Sea/shipping containers or transportable buildings to be used for human habitation such as:</p> <ul style="list-style-type: none"> • Single Dwelling, Ancillary Dwelling, Grouped Dwellings, Multiple Dwellings, Caretaker's Dwelling; • Caravan Park, Holiday Accommodation, Holiday House, Hotel, Motel, Park Home Park, Serviced Apartment, Tourist Development, Workforce Accommodation 	
<p>Scenario 7</p>	<p>The development shall incorporate multiple design elements to achieve the desired streetscape for the area. Design should include articulation of design elements to walls, windows, doors, roofing and include:</p> <ul style="list-style-type: none"> • In cases where a longer wall faces the primary street, a minimum of two windows are to be provided on the front elevation with a minimum horizontal dimension of 1.75m and a minimum vertical dimension of 1.25m.

Scenario	Design treatments
	<ul style="list-style-type: none"> • In cases where a shorter wall faces the street or primary accessway, a minimum of one window is to be provided on the front elevation with a minimum horizontal and vertical dimension of 1.75m. Depending on the length of the wall, an additional window may be required. • All windows to be provided with new external trimming or framing. • Addition of a primary entrance door that entails articulated design features and is not utilitarian in nature; • Addition of a veranda across the entirety of the front elevation with a minimum depth of 2.4m. In cases where a shorter wall acts as the frontage, the veranda is to wrap around a side elevation in addition to the front. • To be new. No used structures permitted unless they are free of surface corrosion, denting and damage. • External surfaces and window trimming to be coloured with muted and neutral tones. • Incorporation of new external wall cladding of sufficient volume and articulation to break up the utilitarian nature. • The floor layout must include a bedroom, a bathroom, a laundry, a kitchen and a living area. • Air conditioning units to be screened from view from the street and neighbouring properties. • Subfloor void to be screened. • Tie down chains or straps are not permitted – shall be secured through alternate means. • Meets the objectives and provisions contained in the Residential Design Codes of Western Australia, the Scheme, any local planning policy or any other planning instrument.
<p>Temporary – for a construction site</p> <p>These will be exempt from development approval, subject to the following conditions.</p>	<p>Conditions:</p> <ul style="list-style-type: none"> • There must be a valid building permit in place; • Active construction works on-site; • Must be wholly located on private property where the construction site is underway; • Must be associated with construction uses only e.g. site office, lunch room for workers, storage; and • Removed prior to an occupancy permit being applied for or where an occupancy permit is not required, prior to occupation of the development.

1. Should a variation be sought to any of the Design Treatments, a minimum of two other design treatments shall be incorporated, to the satisfaction of the Shire. Design treatments include, but are not limited to:
 - New wall cladding affixed to the outside of the existing external walls;
 - Windows;
 - Doors;
 - Veranda;
 - Feature wall.

6. Examples of scenarios and design treatments

Freshly painted and condition of shipping/sea containers



Above left image: An unpainted sea/shipping container that has visible rust, worn paint and has wear and tear damage/denting. Is only considered appropriate for approval where it is:

- Not visible from a public or private place; or
- Temporary – for a construction site.

Above right image: A freshly painted sea/shipping container that has no visible wear and tear, rust and damage/denting. A requirement where:

- Visible from a private place, public place; and
- Visible from a public place and a private place.

Sub floor void

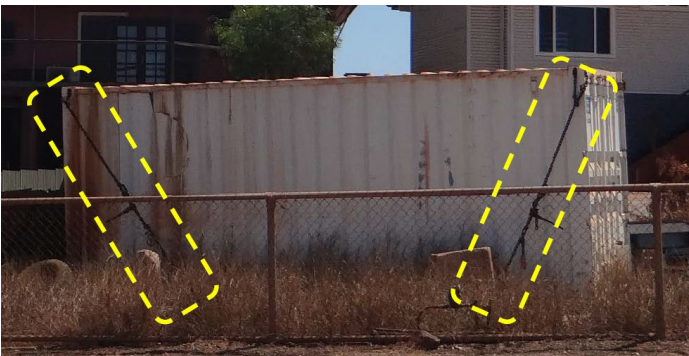


Above left image: Raised sea containers with sub floor void. An exposed sub floor void is only considered appropriate for approval where it is:

- Not visible from a public or private place; or
- Temporary – for a construction site.

Above right image: Transportable building with sub-floor void screening.

Securing and positioning of sea/shipping containers



Above left image: Tie down chains and straps. Is only considered appropriate for approval where it is:

- Not visible from a public or private place.

Above right image: Sea container not at a right angle to the street and in front of house. Not permitted.

Air conditioning units



Above left image: Air conditioning units not screened. Is only considered appropriate for approval where it is:

- Not visible from a public or private place.

Above right image: A screened air conditioning unit.

Dongas wall cladding, windows & doors



Both images: Standard wall cladding that comes with dongas, no windows and no doors facing the street. Not considered appropriate for approval when:

- Visible from a public place;
- Visible from a public place and a private place; and
- Proposed to be used for accommodation purposes (see General Provision 1).



Both images: Treatments have been installed to a sea container and transportable building to present like a house in an urban area. This includes:

- New wall cladding affixed to the outside of the existing external walls (to be new quality) and freshly painted;
- Two windows and one door facing a primary street and any reserve; and
- Veranda facing street frontage.

Required when:

- Visible from a public place;
- Visible from a public place and a private place; and
- Proposed to be used for accommodation/habitable purposes.

7. Definitions

For the purposes of this Policy, the following definitions apply:

Donga:

A transportable building which may either be new or second hand. Generally, from mining and construction sites and are predominantly used for site offices, workforce accommodation, for a temporary period. Square or rectangular in shape with minimal roof pitch.

Dwelling:

Has the same meaning as that defined under the Residential Design Codes.

Public place:

Means any thoroughfare or local government property or any place to which the public has access.

Sea/shipping container:

A container (whether designed and/or used on ships or trucks) with strength suitable to withstand shipment, storage and handling. Shipping containers range from large reusable steel boxes used for intermodal shipments to corrugated boxes.

Transportable building:

A building or structure which has been constructed at another location and transported, either whole or in parts, to the intended location. This may include, but is not limited to, a sea/shipping container, donga, ancillary dwelling, outbuilding or dwelling.

Visible:

Development that is partially or wholly seen from either a public or neighbouring private place, at date of application.

Division		Planning			
Policy Number		PP005 - Sea/Shipping Containers and Transportable Buildings Local Planning Policy			
Contact Officer		Coordinator Regulatory & Development Services			
Related Legislation		<i>Planning and Development Act 2005</i> <i>Planning and Development (Local Planning Schemes) Regulations 2015</i>			
Related Shire Documents		Local Planning Scheme No. 7			
Risk Rating	Low	Review Frequency	Triennially	Next Review	31 March 2023
Date Adopted	25/10/2022			OCM22/10/141	
Amendments					
Date	Details of Amendment			Reference	
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